

Owners Association of Bradford Park, Inc.
Agenda for
Wednesday, May 29, 2024 @ 7:00pm
Board Meeting

Old Business:

- Approve 2024-03-27 BOD Minutes.
- 2023 Audit is complete.
- Masonry wall update.
- Update on Right of Way mowing area on High Country.

New Business:

- Neighborhood News has been slow getting the newsletter published in the wake of Ariel Due's passing.

Homeowner Concerns

Executive Session:

- Review Board management packet.
- Review Accounts Receivable.
- Update from Association Attorney.

Owners Association of Bradford Park, Inc.
Wednesday, May 29, 2024 @ 7:00pm
Zoom Meeting
Board Meeting Minutes

Board members present: Keith Lindsey and Paul Goldfine. The Secretary Director position was still vacant. Property Manager Joe Gains was present. Two homeowners, Allen Stock and Michelle Risko were also present.

The meeting was called to order by Keith Lindsey at 7:04pm.

Old Business:

- The Board approved the 2024-03-27 Board Meeting Minutes.
- Keith Lindsey stated that the 2023 Audit was complete and that there were no surprises. Keith Lindsey stated that the Audit would be available on bphoa.info.
- Masonry wall update. Keith Lindsey and Paul Goldfine stated that they didn't know what to do about the crumbling masonry wall. Michelle Risko asked why the Board believes that there is nothing that they can do to fix this crumbling masonry wall? Keith Lindsey stated that to remove the current wall including the footer and replace it with the same or similar type of masonry wall the cost that was quoted to the Board last November was \$81,500. Further Keith Lindsey stated that the money to repair this was not in the 2024 budget and that it affects only six homeowners. Michelle Risko disagreed with that statement stating that the wall is the "face" of the subdivision and that we are a community not just individual homes. Keith Lindsey responded that we are both. Keith Lindsey argued that someone on Andres Way may have an issue with paying for a wall that is the back fence of someone on Elizabeth Anne Lane. Michelle Risko questioned that this decision should be brought to a vote of all homeowners since it's their money? Michelle Risko further stated that that area represents all of the homes within Bradford Park and therefore the crumbling wall hurts all of our property values. Paul Goldfine stated that by having the Association repair or replace the crumbling masonry wall, a precedent would be set so that if the same thing occurred on the opposite side of Bradford Park Drive that those homeowners would have cause to have the Association repair their sections of wall at Association expense. Michelle Risko stated that the precedent is we see a need, we have a vote and we bill accordingly, not we do whatever you need whenever you need it. Keith Lindsey stated that Texas Law requires that the Association have at least two more bids for projects greater than \$50,000 and that doing so probably isn't a bad idea. Keith continued that the bids we would likely get would be more because of inflation. Keith Lindsey stated that as far as voting for it, we could set up a special meeting and have the members vote on this project. Michelle Risko asked why we would be replacing the entire wall? Why not fix only the areas that need repair? Keith Lindsey stated that when we received the bid from a contractor, he stated that the entire wall from Bradford Park Drive to Donnell Drive is leaning and that all of it will eventually fall. In addition, repairing it in stages risks not being able to get the same or similar materials for previous stages of repair, the money isn't really there to fix it outright, and it only affects six homeowners. Keith Lindsey also stated that he asked the City of Round Rock to help with the repair of this wall and they declined. Keith Lindsey also stated that if we do fix this

crumbling masonry wall we may have to increase our dues to pay for the project. Homeowner Allen Stock asked what type of material was quoted in that \$81,500 bid? Keith Lindsey replied that it would be the same material that is currently there and he thought that would be cinder block. Michelle Risko stated that the new way to do this is with driving a steel pole into the ground and placing prefabbed panels attached to the steel poles which tends to be cheaper. Michelle Risko also stated that when she walks down High Country Blvd. there's a fear that the entire wall may come crashing down. Keith Lindsey stated that we could have a special meeting but that it may require either a special assessment or raising our annual dues. Allen Stock asked if the Association has any insurance that may help cover the cost? Keith Lindsey responded that he didn't think so, not for a project like this and that the wall is actually owned by each individual property owner whose home abuts the wall. Paul Goldfine stated that a special assessment would put more pressure on the homeowners who do pay their dues on time. Keith Lindsey stated that the Association is going after those who haven't paid their dues. Michelle Risko asked if we could get some estimates on different materials to help bring the cost down? Keith Lindsey asked Michelle Risko if she would head that effort up. Michelle said she would. Keith Lindsey told Michelle Risko that he appreciated her help. Keith also stated that the next Board meeting was July 31, 2024.

- Update on Right of Way mowing area on High Country. Keith Lindsey stated that the City of Round Rock owns that area. Previous Boards believed it was owned by the Association in error. Keith stated that Round Rock acknowledged that they own that area but would require of us to remove any plants that were not trees from the area. Keith Lindsey stated that our landscaper quoted us a price of \$3,500 and both he and Paul approved that expenditure. Once that was done, we would notify the City and they would take over the maintenance of that right-of-way area. Keith Lindsey stated that in the long run it would save the Association money because we would no longer need a landscaper to maintain that area. Keith Lindsey stated that he would publish in the Newsletter when the City would take over maintenance of that area. Keith Lindsey stated that he hoped that we would be able to notify the City soon that the plants had been taken up.

New Business:

Neighborhood News Slow: Keith Lindsey stated that Neighborhood News had been slow in getting the bi-monthly newsletter out since the passing of Ariel Due. Keith Lindsey stated that he asks Amy at Neighborhood News for a digital pdf copy of the Newsletter for the website, bphoa.info. Further, the next submission date for the next newsletter will be July 1, 2024.

Homeowner Concerns: Keith Lindsey then asked if there were any homeowner concerns. Allen Stock stated that there is a lack of street parking on Vinson Court due to a home that has up to eight vehicles. Allen Stock stated that there are cars that are blocking the sidewalks in driveways. Allen Stock also stated that there is a home that has a car with a flat tire that's been sitting in their driveway for a few years. In addition Allen Stock stated that according to our deed restrictions there is a four vehicle limit to the number of vehicles that can be parked at a residence. Keith Lindsey stated he didn't remember reading that and Allen Stock said he would send that information to the Board after this meeting. Joe Gains stated that Goodwin & Co. sends violations

every two weeks and that this particular home was on our radar. Joe asked for pictures of vehicles with flat tires or cars blocking the sidewalk because he uses those pictures in the violation letters. Keith Lindsey stated that there was a homeowner that complained about a next door neighbor using their backyard as a garbage dump. Keith Lindsey asked Joe to send the offending home a letter.

Keith Lindsey also stated that we needed to crack down on trailers in driveways or in the subdivision.

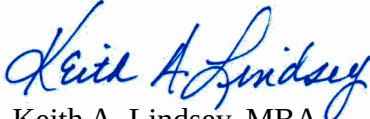
Keith Lindsey also stated that there was a moving container at 2604 Andres Way that had been there for over a month and that we needed to start the process to get that removed.

Executive Session: The Board then went into Executive Session. In Executive Session, the Board discussed delinquent accounts.

Keith Lindsey adjourned the meeting at 7:40pm.

Owners Association of Bradford Park, Inc.
Approval of May 29, 2024 Board Meeting Minutes

The undersigned, hereby certify that the board meeting minutes of May 29, 2024 were approved by a vote of the Board of Directors at the July 31, 2024 board meeting.



Keith A. Lindsey, MBA
President,
Owners Association of Bradford Park, Inc.